

# Planning Committee Meeting 11<sup>th</sup> November 2020

**MMA/344478/20**

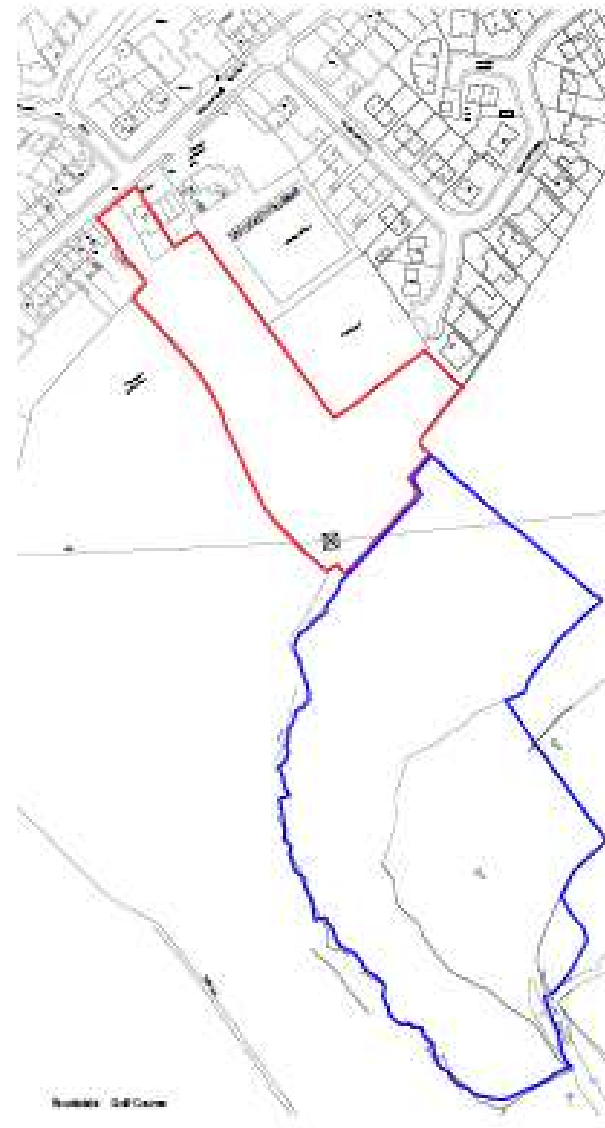
Variation to Condition 2 of approved application PA/343302/19, including amendments to site layout, levels, house layouts and roof heights.

Land to the rear of the Dog and Partridge PH, Medlock Road, Failsworth, Oldham, M35 9NP



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# Location Plan



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# Aerial View



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## Proposed amendments are as follows:

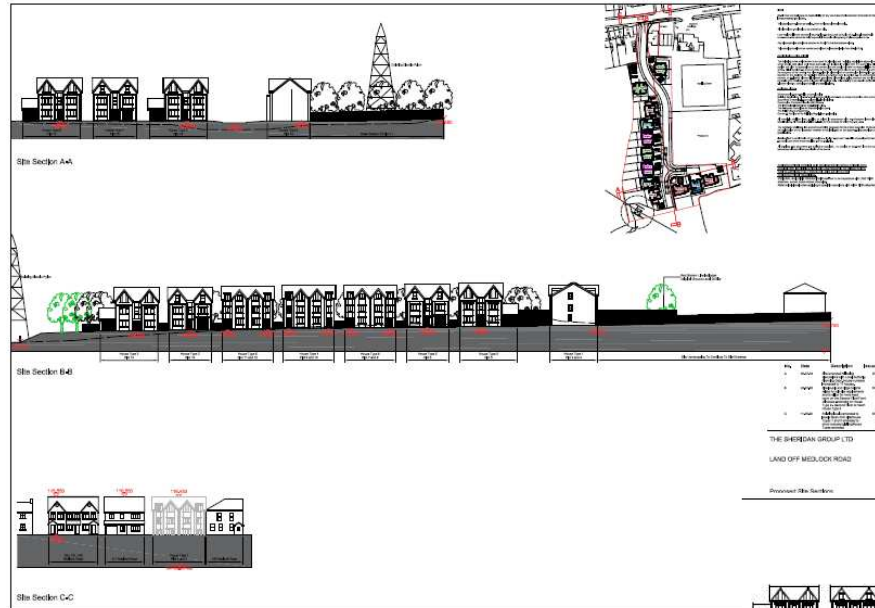
- Removal of a house type No.4 (this type has been switched out for house type 1 and a new house type 5 on the layout plan);
- House type No's. 5, 6 and 7 have also been added to allow for alternate design versions of house type 1, 2 and 3. As they allow for a better balance of masonry and glazing to retain the traditional feel of the overall street scene and development.
- The Increase in ridge heights of house type No's. 1, 2 and 3, due to the revised existing site levels taken from site, as more topographical survey has been undertaken and the construction requirements dictated by structure have required a lift in ridge height; and
- Ground level alterations across the site again due to the revised levels take from site which are more accurate than the previous levels provided.

# Proposed layout



# Original Approved layout

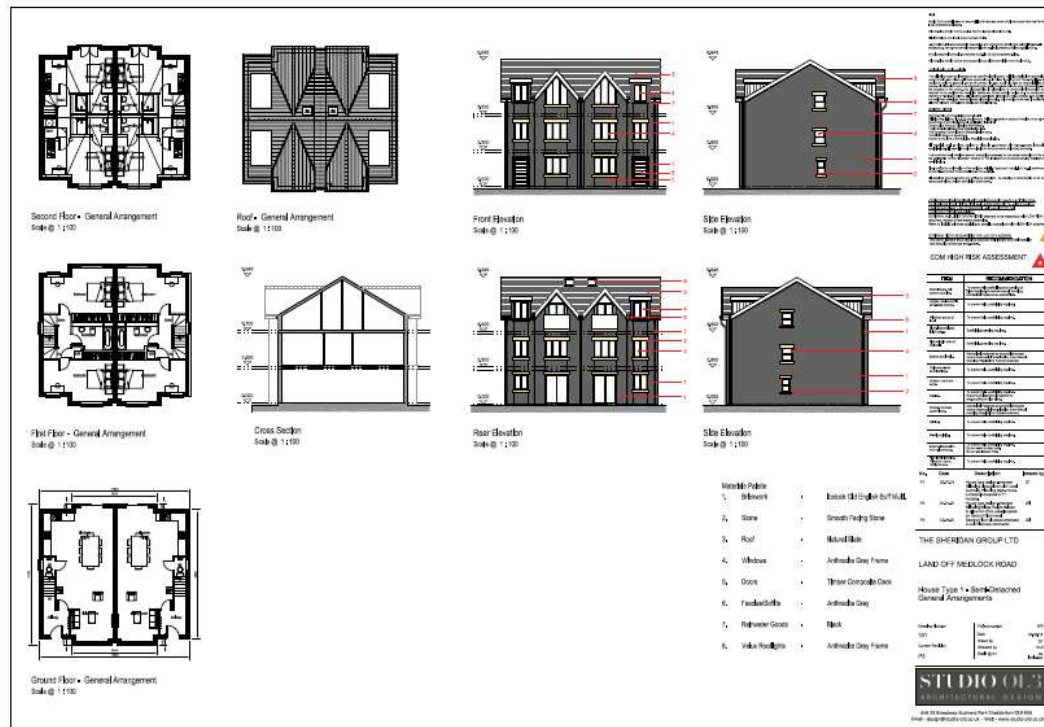
# Proposed Section



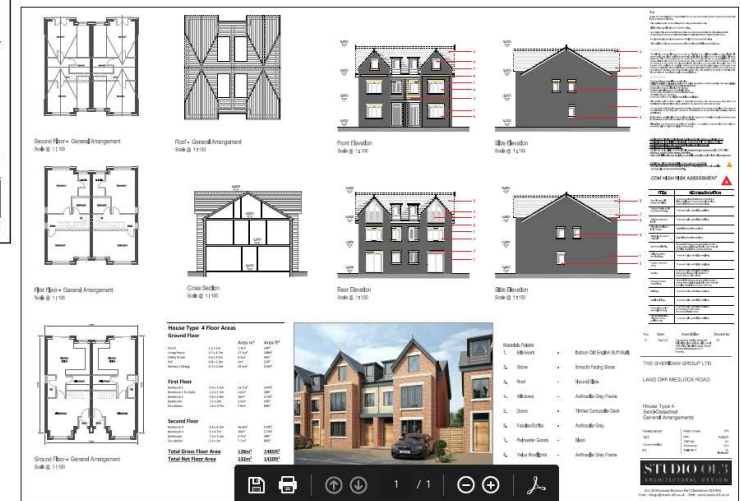
# Original Approved Section



# Proposed House Type 1



House Type 1 has been added to in part replace the removal of the original house type No. 4



Originally Approved House Type 4

# House Type 2

Second Floor - General Arrangement  
Scale @ 1:100

Roof - General Arrangement  
Scale @ 1:100

Front Elevation  
Scale @ 1:100

Side Elevation  
Scale @ 1:100

First Floor - General Arrangement  
Scale @ 1:100

Cross Section  
Scale @ 1:100

Rear Elevation  
Scale @ 1:100

Side Elevation  
Scale @ 1:100

Ground Floor - General Arrangement  
Scale @ 1:100

Materials Table

1. Masonry
2. Stone
3. Roof
4. Windows
5. Doors
6. Fencing/Cladding
7. Pathway/Gates
8. Vehicle Parking

No.	Scale	Description	Revised by
01	1:100	Initial Design	AS
02	1:100	Revised Design	AS
03	1:100	Final Design	AS
04	1:100	As Built	AS

## Originally approved House Type 2

Second Floor - General Arrangement  
Scale @ 1:100

Roof - General Arrangement  
Scale @ 1:100

Front Elevation  
Scale @ 1:100

Side Elevation  
Scale @ 1:100

First Floor - General Arrangement  
Scale @ 1:100

Cross Section  
Scale @ 1:100

Rear Elevation  
Scale @ 1:100

Side Elevation  
Scale @ 1:100

Ground Floor - General Arrangement  
Scale @ 1:100

Materials Table

1. Masonry
2. Stone
3. Roof
4. Windows
5. Doors
6. Fencing/Cladding
7. Pathway/Gates
8. Vehicle Parking

House Type 2 Floor Areas

Floor	Room	Area m <sup>2</sup>	Area ft <sup>2</sup>
Ground Floor	Living Room	13.12	142
	Dining Room	11.75	126
	Kitchen	10.15	109
	Breakfast Room	7.15	77
	Garage	11.15	120
First Floor	Bedroom 1	11.15	120
	Bedroom 2	11.15	120
	Bedroom 3	11.15	120
	Bathroom	5.15	55
	Ensuite	4.15	45
Second Floor	Bedroom 4	11.15	120
	Bedroom 5	11.15	120

Materials Table

1. Masonry
2. Stone
3. Roof
4. Windows
5. Doors
6. Fencing/Cladding
7. Pathway/Gates
8. Vehicle Parking

THE SHEWAN GROUP LTD.  
LAND OFF REDDOCK ROAD

House Type 2  
Detailed  
General Arrangement



# House Type 3

Second Floor - General Arrangement  
Scale @ 1:100

Roof - General Arrangement  
Scale @ 1:100

Front Elevation  
Scale @ 1:100

Side Elevation  
Scale @ 1:100

First Floor - General Arrangement  
Scale @ 1:100

Cross Section  
Scale @ 1:100

Rear Elevation  
Scale @ 1:100

Side Elevation  
Scale @ 1:100

Ground Floor - General Arrangement  
Scale @ 1:100

Work & Materials

- 1. Windows - Brown Ole Engine Buff Brick
- 2. Stone - Smooth Facing Stone
- 3. Roof - Natural Slate
- 4. Windows - Anthracite Grey Frame
- 5. Doors - Silver Composite Deck
- 6. Handrails/Bars - Anthracite Grey
- 7. Railings/Steps - Black
- 8. Villa Handrails - Anthracite Grey Frame

THE SHERIDAN GROUP LTD  
LAND OFF MEDLOCK ROAD

## Originally approved House Type 3

Second Floor - General Arrangement  
Scale @ 1:100

Roof - General Arrangement  
Scale @ 1:100

Front Elevation  
Scale @ 1:100

Side Elevation  
Scale @ 1:100

First Floor - General Arrangement  
Scale @ 1:100

Cross Section  
Scale @ 1:100

Rear Elevation  
Scale @ 1:100

Side Elevation  
Scale @ 1:100

Ground Floor - General Arrangement  
Scale @ 1:100

House Type 3 Floor Areas

Floor	Area (sqm)	Area (sqft)
Ground Floor	100.00	1076.41
First Floor	100.00	1076.41
Second Floor	100.00	1076.41
<b>Total Gross Floor Area</b>	<b>300.00</b>	<b>3229.23</b>
<b>Total Net Floor Area</b>	<b>235.00</b>	<b>2530.87</b>

Work & Materials

- 1. Windows - Brown Ole Engine Buff Brick
- 2. Stone - Smooth Facing Stone
- 3. Roof - Natural Slate
- 4. Windows - Anthracite Grey Frame
- 5. Doors - Silver Composite Deck
- 6. Handrails/Bars - Anthracite Grey
- 7. Railings/Steps - Black
- 8. Villa Handrails - Anthracite Grey Frame

THE SHERIDAN GROUP LTD  
LAND OFF MEDLOCK ROAD

House Type 3  
Detached with Attached Garage  
General Arrangement

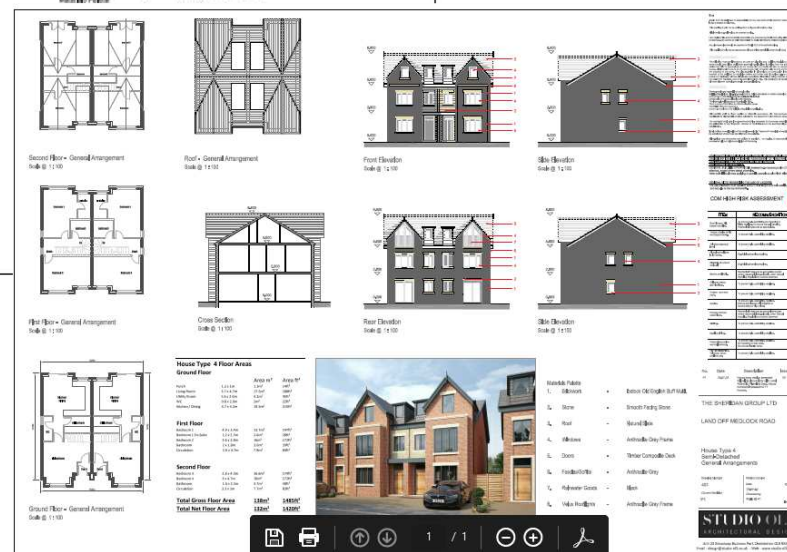
STUDIO OF ARCHITECTURAL DESIGN

# House Type 5



House Type 1 has been added to in part replace the removal of the original house type No. 4

Originally Approved House Type 4



# House Type 6

Second Floor - General Arrangement  
Scale @ 1:100

Roof - General Arrangement  
Scale @ 1:100

Front Elevation  
Scale @ 1:100

Side Elevation  
Scale @ 1:100

First Floor - General Arrangement  
Scale @ 1:100

Cross Section  
Scale @ 1:100

Rear Elevation  
Scale @ 1:100

Side Elevation  
Scale @ 1:100

Ground Floor - General Arrangement  
Scale @ 1:100

CDM HIGH RISK ASSESSMENT

NO	DESCRIPTION	STATUS
1	Structural	Not Started
2	Services	Not Started
3	External Works	Not Started
4	Internal Works	Not Started
5	Roofing	Not Started
6	Windows/Doors	Not Started
7	Painting	Not Started
8	Final Works	Not Started
9	Handover	Not Started

Second Floor - General Arrangement  
Scale @ 1:100

Roof - General Arrangement  
Scale @ 1:100

Front Elevation  
Scale @ 1:100

Side Elevation  
Scale @ 1:100

First Floor - General Arrangement  
Scale @ 1:100

Cross Section  
Scale @ 1:100

Rear Elevation  
Scale @ 1:100

Side Elevation  
Scale @ 1:100

Ground Floor - General Arrangement  
Scale @ 1:100

House Type 3 Floor Areas

Floor	Room	Area m <sup>2</sup>	Area ft <sup>2</sup>
Ground Floor	Living Room	23.2	250
	Kitchen	11.5	124
	Dining Room	11.5	124
	Breakfast Room	11.5	124
First Floor	Bedroom 1	11.5	124
	Bedroom 2	11.5	124
	Bedroom 3	11.5	124
	Bedroom 4	11.5	124
Second Floor	Bedroom 5	11.5	124
	Bedroom 6	11.5	124

Materials Table:

- Woods: Robinia, Larch, Oak
- Stone: Smooth Facing Stone
- Roof: Hard-Roof
- Windows: Anthracite Grey Frame
- Doors: Timber Composite Deck
- Fenestration: Anthracite Grey
- Waterworks: Black

THE SHERIDAN GROUP LTD  
LAND OFF WELLOCK ROAD

House Type 3  
Detached With Attached Garage  
General Arrangement

Originally approved House Type 3

# House Type 7

Second Floor - General Arrangement  
Scale @ 1:100

Roof - General Arrangement  
Scale @ 1:100

Front Elevation  
Scale @ 1:100

Side Elevation  
Scale @ 1:100

First Floor - General Arrangement  
Scale @ 1:100

Cross Section  
Scale @ 1:100

Rear Elevation  
Scale @ 1:100

Side Elevation  
Scale @ 1:100

Risk	Control Measures
1.1	...
1.2	...
1.3	...
1.4	...
1.5	...
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# Originally approved House Type 2

Second Floor - General Arrangement  
Scale @ 1:100

Roof - General Arrangement  
Scale @ 1:100

Front Elevation  
Scale @ 1:100

Side Elevation  
Scale @ 1:100

First Floor - General Arrangement  
Scale @ 1:100

Cross Section  
Scale @ 1:100

Rear Elevation  
Scale @ 1:100

Side Elevation  
Scale @ 1:100

Risk	Control Measures
1.1	...
1.2	...
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1.48	...
1.49	...
1.50	...

Room	Area (m <sup>2</sup> )	Area (sq ft)
Living Room	18.1	195
Open Plan Kitchen	12.5	135
Dining Room	10.2	110
Breakfast Room	8.5	91
Family Room	15.8	170
Bedroom 1	11.2	120
Bedroom 2	10.8	116
Bedroom 3	10.5	113
Bedroom 4	10.2	109
Bedroom 5	10.0	107
Bedroom 6	9.8	106
Bedroom 7	9.6	103
Bedroom 8	9.4	101
Bedroom 9	9.2	99
Bedroom 10	9.0	97
Bedroom 11	8.8	95
Bedroom 12	8.6	92
Bedroom 13	8.4	90
Bedroom 14	8.2	88
Bedroom 15	8.0	86
Bedroom 16	7.8	84
Bedroom 17	7.6	82
Bedroom 18	7.4	80
Bedroom 19	7.2	77
Bedroom 20	7.0	75
Bedroom 21	6.8	73
Bedroom 22	6.6	71
Bedroom 23	6.4	69
Bedroom 24	6.2	67
Bedroom 25	6.0	65
Bedroom 26	5.8	62
Bedroom 27	5.6	60
Bedroom 28	5.4	58
Bedroom 29	5.2	56
Bedroom 30	5.0	54
Bedroom 31	4.8	51
Bedroom 32	4.6	49
Bedroom 33	4.4	47
Bedroom 34	4.2	45
Bedroom 35	4.0	43
Bedroom 36	3.8	41
Bedroom 37	3.6	38
Bedroom 38	3.4	36
Bedroom 39	3.2	34
Bedroom 40	3.0	32
Bedroom 41	2.8	30
Bedroom 42	2.6	28
Bedroom 43	2.4	26
Bedroom 44	2.2	23
Bedroom 45	2.0	21
Bedroom 46	1.8	19
Bedroom 47	1.6	17
Bedroom 48	1.4	15
Bedroom 49	1.2	13
Bedroom 50	1.0	11
Bedroom 51	0.8	9
Bedroom 52	0.6	7
Bedroom 53	0.4	5
Bedroom 54	0.2	3
Bedroom 55	0.0	1

Item	Description	Quantity
1	Brickwork	...
2	Stone	...
3	Roof	...
4	Walls	...
5	Windows	...
6	Doors	...
7	Handrails	...
8	Handrails	...
9	Handrails	...
10	Handrails	...
11	Handrails	...
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